

# NORFOLK ISLAND

Regional Council

24 September 2025

JL and CJ Quintal  
PO Box 254  
NORFOLK ISLAND 2899

Dear Mr & Mrs Quintal

**APPROVAL OF DEVELOPMENT APPLICATION DA.BA 11/2025:**

**RESIDENCE – DUAL OCCUPANCY: CONSTRUCT ONE ADDITIONAL DWELLING  
AT Portion 139a4 Anson Bay Rd NORFOLK ISLAND 2899**

Thank you for your development application as described above, accepted in accordance with section 35(1) of the *Planning Act 2002 (NI)* (the Act), and approved under section 44(6)(a) of the Act. The development approval is subject to conditions shown in the attached Notice of Decision on Development Application. Please read the conditions carefully.

Please ensure that, prior to commencement of any ground disturbance associated with the construction of the approved development, all personnel working on site in the construction of the approved development and ancillary structures and services are provided with a copy of this Notice of Decision and the conditions of development approval. The landowner is responsible for compliance with the *Planning Act 2002 (NI)*; the *Building Act 2002 (NI)* and any other legislative requirements that apply to the approved development.

Please note that the attached Notice of Decision is for development approval under the *Planning Act 2002 (NI)* only. Your Building Application is being assessed for building approval by the Building Inspector. You will be contacted regarding any additional plans that may be required.

Please do not hesitate to contact Planning and Development on email [planning@nirc.gov.nf](mailto:planning@nirc.gov.nf) if you have any queries.

Yours sincerely

**Planning and Building Team**

# NORFOLK ISLAND

## Regional Council

### NOTICE OF DECISION ON DEVELOPMENT APPLICATION

Pursuant to Section 47 of the Planning Act 2002 (NI)

I, George Plant, Administrator of Norfolk Island and delegate of the Commonwealth Minister under paragraph 1.66 of the *Minister's Norfolk Island Delegation Instrument 2019 (Cth)*, under section 44(6)(a) of *Planning Act 2002 (NI)* determine the Development Application ('the Application') referred to in Schedule 1 by granting development approval subject to the conditions set out in Schedule 2.

The reasons for the imposition of conditions are to:

- Achieve, in part, the principle Aim of the Norfolk Island Plan 2002, which is *'Whilst recognising that Norfolk Island is first and foremost home to its residents, to provide for development which is consistent with the protection of Norfolk Island's natural environment, the preservation of the unique cultural and built heritage, the preservation of the character and quality of landscape experience, the maintenance of the agricultural industry, the development of a sustainable tourism industry based on Norfolk Island's special characteristics and the development of pleasant and functional places in which to live, work and recreate'; and*
- *Minimise any adverse environmental and other impacts associated with the use of the property on adjacent properties and the amenity of the area.*



George Plant  
Administrator and Commonwealth Minister's Delegate,

Date approved: 24/9/25

#### Notes:

1. The date upon which this approval takes effect is:
  - a. the expiration of 28 days after this approval is given; or
  - b. if an application is made under Part 7 of the *Planning Act 2002 (NI)* for review of the approval decision within 28 days, the final determination of the review; unless the Administrative Review Tribunal or the Administrative Appeals Tribunal declares an earlier effective date.
2. Pursuant to Section 62 of the *Planning Act 2002 (NI)*, this approval will lapse if the land the subject of this approval has not been used or developed in accordance with this approval by the prescribed date, which is 60 months after the date the approval took effect.

3. Pursuant to Section 78 of the *Planning Act 2002 (NI)*, decisions made by the Minister under that Act in relation to development applications are reviewable decisions. If the Applicant(s) is aggrieved with this decision, application can, in certain circumstances, be made to the Administrative Review Tribunal for a review under the *Administrative Review Tribunal Act 1996 (NI)* or to the Administrative Appeals Tribunal under the *Administrative Appeals Tribunal Act 1975 (Cth)*.

## GLOSSARY

‘the Council’	Means Norfolk Island Regional Council
‘Norfolk Island Plan’	Means Norfolk Island Plan 2002 (effective 16 March 2023)
‘General Manager’	Means the General Manager of Norfolk Island Regional Council
‘Minister’	Means the Commonwealth Minister with responsibility for Norfolk Island
‘Building Code of Australia’ (BCA)	Means Volumes One and Two of the National Construction Code and the Plumbing Code of Australia (PCA) is Volume Three of the National Construction Code
‘Sensitive Land Use’ (Cl. 101 Norfolk Island Plan)	Means Sensitive Land Use as described in the Norfolk Island Plan: <ul style="list-style-type: none"> <li>(a) Child Care Centre; or</li> <li>(b) Community Facility; or</li> <li>(c) Educational Establishment; or</li> <li>(d) Hospital; or</li> <li>(e) Health Care Service; or</li> <li>(f) Hotel; or</li> <li>(g) Residence (Class); or</li> <li>(h) Resort; or</li> <li>(i) Tourist Park</li> </ul>
‘Coastal Environment Buffer Area’ (Cl.77(2) Norfolk Island Plan)	The Coastal Environment Buffer Area is described in Clause 77(2) of the Norfolk Island Plan as referring to the strip(s) of land zoned Rural and Rural Residential and also situated between 50 and 100 metres inland from the surveyed Top of Cliff on the Official Survey of Norfolk Island, or where there is no surveyed Top of Cliff, survey must be undertaken to determine Top of Cliff.
‘On-site wastewater management system’ (Cl. 14 DCP 2 Water Resources (2021))	Means a system for managing wastewater at a <i>premises</i> that is not connected to a main sewer. The types of systems considered in Norfolk Island include: <ul style="list-style-type: none"> <li>• <i>septic systems</i></li> <li>• aerated wastewater treatment systems, which can include chlorination and/or ultraviolet treatment</li> <li>• pump-out systems or <i>holding tanks</i></li> <li>• composting toilets</li> <li>• <i>greywater</i> system, which can include chlorination and/or ultraviolet treatment</li> </ul>

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**SCHEDULE 1 – DEVELOPMENT APPLICATION**


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<b>DEVELOPMENT APPLICATION NO:</b>	DA.BA 11/2025
<b>APPLICATION MADE BY: (THE APPLICANT)</b>	J & C Quintal
<b>LAND TO BE USED OR DEVELOPED: (SUBJECT LAND)</b>	Lot: 12 Portion 139a4 Anson Bay Road
<b>APPROVED USE OR DEVELOPMENT: (THE DEVELOPMENT)</b>	<i>Residence – Dual Occupancy</i> : Construct one additional detached residence in the Coastal Environment Buffer Area
<b>DECISION:</b>	Approved
<b>DATE OF DECISION:</b>	24 September 2025
<b>DATE THE DEVELOPMENT APPROVAL TAKES EFFECT:</b>	23 October 2025
<b>DATE THE DEVELOPMENT APPROVAL LAPSES:</b>	23 October 2023

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**SCHEDULE 2 - CONDITIONS OF DEVELOPMENT APPROVAL**


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**GENERAL CONDITIONS RELATING TO THIS APPROVAL****Scope of this Approval**

1. The Development must be carried out in accordance with:
  - a. DA.BA 11/2025 and the stamped approved plans and documentation accompanying this Notice of Decision;
  - b. All relevant requirements in the Norfolk Island Plan 2002 for the Rural Zone; and the relevant requirements in Development Control Plan No. 2 – Water Resources (2021) and Development Control Plan No. 3 – Multi Units (2011); and
  - c. The conditions of this Notice of Decision.
2. Where there is any inconsistency between the items listed at (a), (b) and (c) above, the other conditions of this Notice of Decision will prevail.

**Approved land Use**

3. This development approval is for the Development described in this Notice of Decision only. Nothing in this Notice of Decision shall authorise the use or development of the subject land for any land use beyond the definition of *Residence – Dual Occupancy* in accordance with the Purpose Definitions in the Norfolk Island Plan as follows:

*'Residence – Dual Occupancy means the Use or Development of Land as two Dwelling Units either attached or detached which are sited on one lot.*

4. Any variation to the approved land use and occupancy of any onsite structures beyond the scope of the above definition; and any further use or development of the subject land that requires a development approval under the *Planning Act 2002 (NI)* will require separate development approval.

### **Connections to public infrastructure services**

5. Connections to public services and infrastructure and other works must be undertaken and completed to the satisfaction of the Council. Costs and responsibilities for installing or upgrading services and infrastructure shall be determined by the Council.

### **Compliance**

6. The conditions of this Notice of Decision must be complied with. The person responsible for the use and development of the site must ensure that all employees, contractors and subcontractors are aware of, and comply with, the conditions of this Notice of Decision. Compliance with conditions will be monitored by an authorised officer of the Council.

### **Dispute resolution**

7. For any unresolved dispute arising out of the implementation of these conditions between the person responsible for the use development of the site and a public authority, company or person (but excluding any dispute between the person responsible for the use and development of the site and his or her contractors and/or subcontractors engaged in the construction of the Development), in the first instance either party can refer the matter to the General Manager, and, if not resolved, the Minister. The Minister's determination of the disagreement shall be final and binding on all parties.

## **CONDITIONS TO BE SATISFIED PRIOR TO COMMENCEMENT OF SITE WORKS**

### **Requirement for Building Approval**

8. Prior to the commencement of any site works, earthworks or construction, building approval under the *Building Act 2002 (NI)* must be obtained to ensure compliance with the Building Code of Australia.

### **Preparation of an Ecological Management Plan**

9. The person responsible for the development must provide an Ecological Management Plan to be approved by Council, that addresses suitable soil management and fencing to protect the tree roots. The purpose of the ecological management plan is to identify actions to mitigate and manage the potential impacts of the proposed development on the natural and heritage values of the subject land in order to preserve the ecological and biodiversity values at the subject land.
10. The Ecological Management Plan must be submitted to Council for review and agreement to the proposed actions before the issue of a building approval for the proposed development under the *Building Act 2002(NI)*.

### **Protection of Flora**

10. The person responsible for the development must fence of the protected trees closest to the proposed development site (a minimum of 15 metres from the trunk of protected trees) to protect the root system from any potential damage.

### **Siting of wastewater management system and water storage tank(s)**

11. The proposed siting of the wastewater management system and water storage tanks(s) to serve the development must be reviewed to reduce the potential for impact on root systems. The site(s) for the infrastructure must be agreed by Council staff responsible for biodiversity, environment and water prior to the issue of a building approval for the proposed development under the *Building Act 2002 (NI)*.

#### **Wastewater management requirements**

12. The installation of an *on-site wastewater management system* requires approval from the Norfolk Island Regional Council under section 51 of the *Environment Act 1980 (NI)*. The *on-site wastewater management system* shall be designed in consultation with Council's Public Health and Environment staff and shall be guided by Council's 'Rapid Evaluation Procedure for On-Site Wastewater Management' (attached).

#### **Argentine Ant Management**

13. The subject land, Portion 139a4, is land where Argentine Ants have been detected. To help avoid the potential to transport Argentine Ants around the Island, the person responsible for the Development must arrange for potential carriers of Argentine Ants to be assessed by Council's Argentine Ant Eradication Program team. If deemed to be a potential carrier then treatment of the material will be required prior to the removal of that material and equipment from the subject land. Potential carriers include garden waste, firewood, building waste and machinery such as earthmovers, chippers and slashers.

#### **Public safety**

14. Prior to any works commencing on site, the person responsible for the development site must erect or install on or around the development site such temporary structures or appliances (wholly within the development site) as are necessary to protect persons or property and to prevent unauthorised access to the site; and for the land or premises to be maintained in safe or healthy conditions. Upon completion of the development, such temporary structures or appliances are to be removed within 7 days.

### **CONDITIONS TO BE COMPLIED WITH DURING BUILDING WORK**

#### **Obligation to minimise harm to the environment**

15. All practicable measures to prevent or minimise any harm to the environment that may result from the construction and use of the Development must be implemented.

#### **Construction site maintenance**

16. During construction, the site must be maintained in an orderly manner for both visual aesthetics and occupational health and safety considerations. Disturbed areas must be rehabilitated as soon as practicable at the completion of works.

#### **Erosion and Sedimentation**

17. The Applicant shall prevent runoff containing sediment from exiting the development site or entering a watercourse and shall ensure that the Development does not result in increased erosion caused by runoff.

### **Noise Impacts – Construction**

18. Unless authorised by Council, all construction activities at the development site which are audible at 'sensitive land uses' (as defined in the Glossary) are restricted to the following times:
  - a. 7:00am to 5:00pm Mondays to Fridays;
  - b. 7:00am to 1:00pm on Saturdays; and
  - c. At no time on Sundays and public holidays.

### **Dust emissions**

19. The Development must be constructed, used and maintained in a manner that will minimise the generation of dust in the development site, and the emission of dust from the development site. Dust minimisation measures shall include, but not be limited to the following:
  - a. All vehicles exiting the site shall be prevented from tracking material from the site.
  - b. Stockpiles shall be maintained in a condition which minimises wind-blown dust; i.e. confined to the smallest practicable area and covered or watered.
  - c. All vehicles entering or leaving the site carrying a load that may generate dust shall be covered at all times, except during loading and unloading.

### **Traffic, access and parking**

20. During construction, access to the site shall be maintained in an orderly manner for occupational health and safety and road safety considerations. Appropriate signage shall be used where necessary to ensure public safety.
21. Vehicular access and parking to and within the site must be safe and convenient for residents, visitors and emergency vehicles.

## **CONDITIONS RELATING TO ENVIRONMENTAL PERFORMANCE AND AMENITY**

### **Consistency with relevant Use and Development Principles**

22. The Development must be consistent with the relevant principles for Use, Character, Amenity, Environment, Access and parking, and Infrastructure and services, specified in Part B3 – General Provisions in the Norfolk Island Plan 2002.

### **Visual amenity**

23. The roof area and external walls / surfaces of the Development must be finished with colours and materials that blend in with the forms and colours of the landscape in order to comply with the requirements for development in the Coastal Environment Buffer Area. The final colours of the external finishes must be determined in agreement with the Council's planning and environment staff.

### **Vegetation and landscaping**

24. Any existing vegetation on the development site that screens or partially screens the Development from residences on neighbouring lots and mitigates the potential visual impact of the Development shall be retained and enhanced where practicable. This condition is to minimise the visual exposure of the Development and to ensure privacy between the Development and developments on adjoining land.
25. Plantings and landscaping at the Development shall aim to achieve the following objectives:
  - a. To preserve the ecological and biodiversity values of the site and its surrounds;
  - b. To preserve and enhance the unique visual quality of the vegetation and other natural features of the Island generally and the coastal environment of the locality specifically;
  - c. To encourage new plantings and landscaping; and
  - d. To enhance the setting of the Development and minimise the impact of the Development on the coastal environment values, including landscape character and visual amenity.

### **Lighting**

26. Lighting has the potential to adversely impact seabirds that are attracted to lights at night time, including adding to disorientation and collisions with infrastructure. To protect seabirds and reduce potential impacts on breeding, migratory and foraging behaviours of the seabirds, the Development must comply with the following conditions:
  - a. Exterior lighting must be minimised and limited to lighting that is essential; and be focussed where light is necessary.
  - b. Upward light spill must be eliminated. Light must be directed downwards, not upwards or sideways.
  - c. Shielded fittings that do not allow any light above the horizontal plane must be used to contain light to required areas.



- d. Exterior light intensity must be minimised. Warm yellow/orange/amber coloured light bulbs should be used.
- e. Exterior light must not be directed onto reflective surfaces.

#### **Rainwater capture and storage requirements**

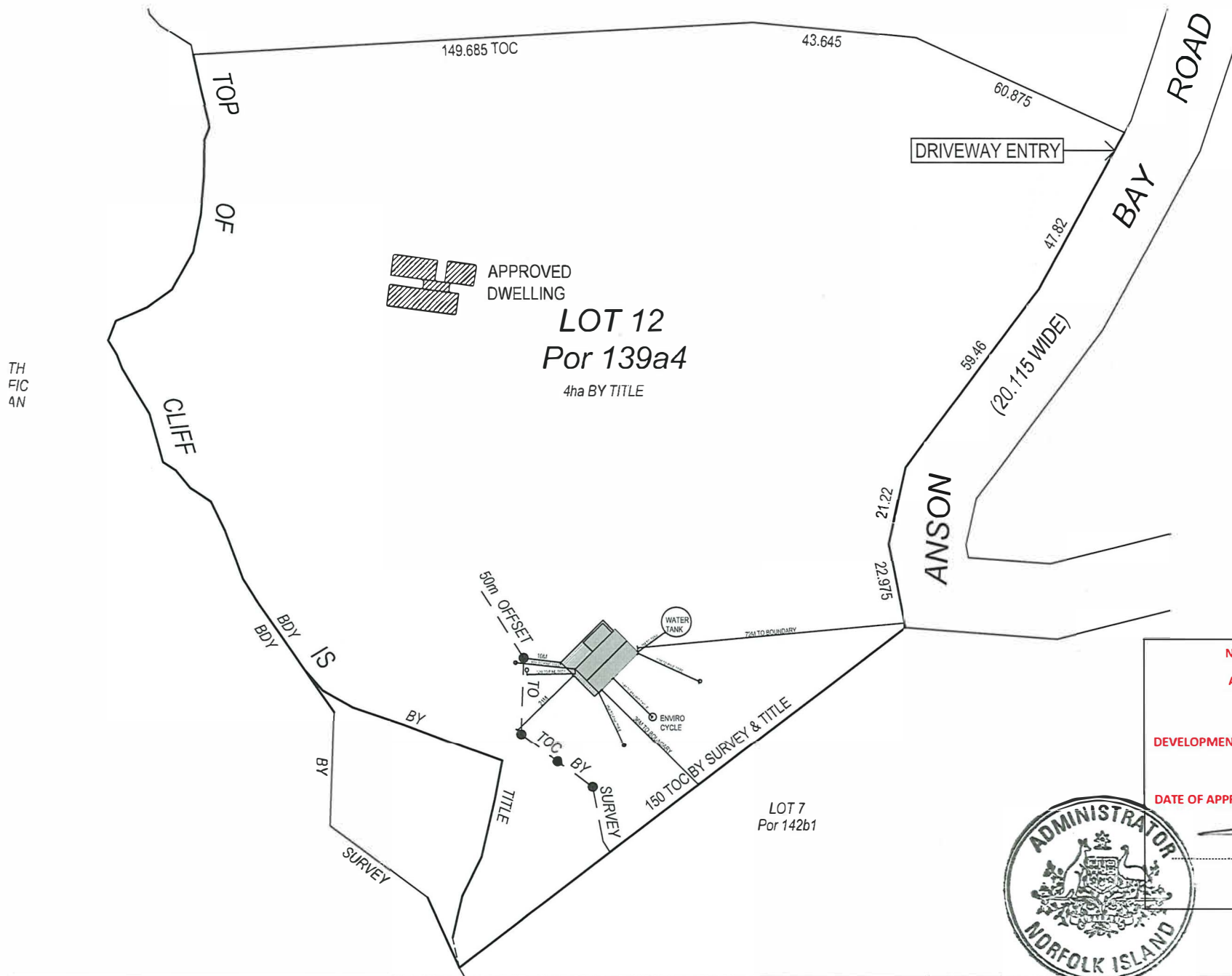
- 27. In accordance with Clause 19 of *Development Control Plan No. 2 – Water Resources (2021)* all roof areas of the Development must be fitted with rainwater collection systems capable of collecting rainwater and delivering it to water storage tank(s) with sufficient capacity to meet the anticipated water use demands of the approved Development. Consistent with the purpose of *Development Control Plan No. 2 – Water Resources (2021)* stated in Clause 4(e) to maximise opportunities to capture and store rainwater, the surface of water tanks(s) must also be fitted with rainwater collection systems capable of collecting rainwater and delivering it to water storage tank(s).
- 28. In accordance with Clause 22 of *Development Control Plan No. 2 – Water Resources (2021)* the minimum water storage capacity required for the approved Development shall be 90KL.

#### **CONDITIONS TO BE COMPLIED WITH PRIOR TO THE ISSUE OF AN OCCUPANCY CERTIFICATE**

##### **Completion of approved use or development**

- 29. Not later than 30 days following the completion of construction, the General Manager must be notified in writing that the Development has been completed and the conditions of this Notice of Decision have been complied with.

**End.**



NORFOLK ISLAND REGIONAL COUNCIL  
 APPROVED PLANS AND DOCUMENTS

DEVELOPMENT APPLICATION No. DA.BA 11/2025

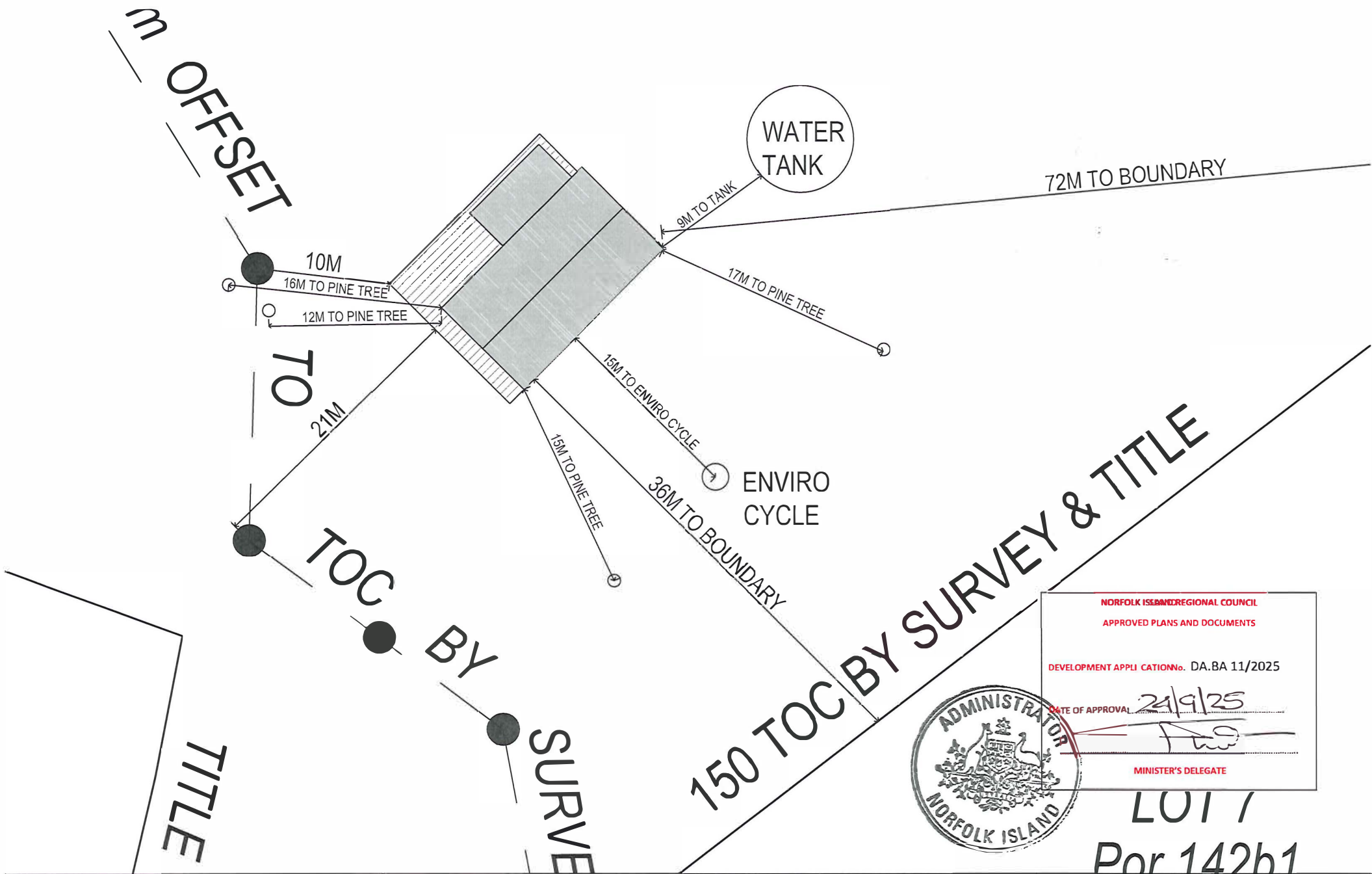
DATE OF APPROVAL 24/9/25



MINISTER'S DELEGATE



<b>PROJECT DETAILS</b> NAME: JARED AND CHLOE QUINTAL ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND DESIGNER: CHLOE QUINTAL	<b>PROPOSED SECOND DWELLING</b>	<b>DRAWING TITLE</b> SITE MAP 1:100 @ A3	REVISION: A DATE: 14/07/25 DRAWN BY: CQ SCALE: 1:100 @ A3	
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NORFOLK ISLAND REGIONAL COUNCIL  
APPROVED PLANS AND DOCUMENTS

DEVELOPMENT APPLICATION No. DA.BA 11/2025

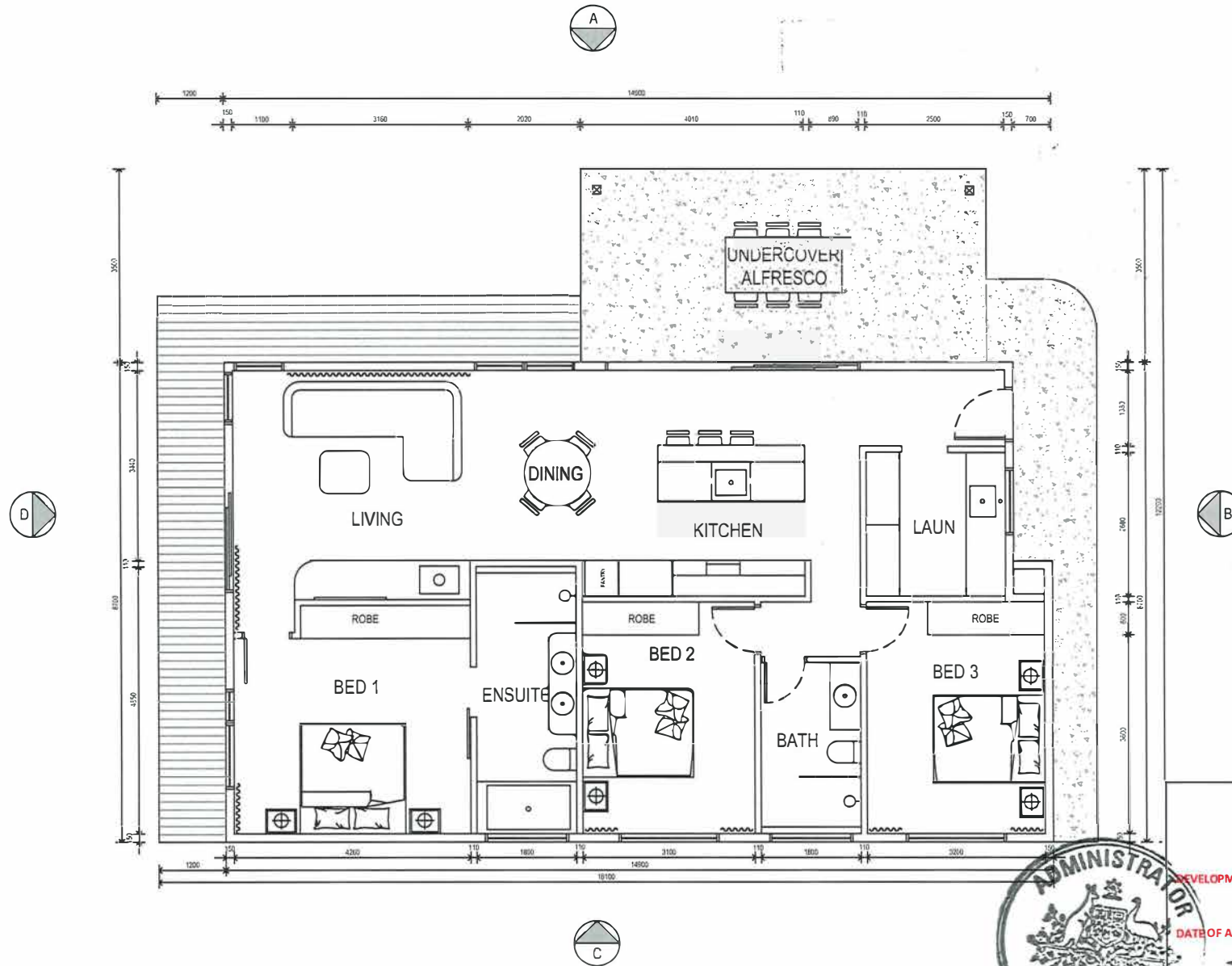
DATE OF APPROVAL 24/9/25

MINISTER'S DELEGATE



LOI /  
Por 142b1

<b>PROJECT DETAILS</b> NAME: JARED AND CHLOE QUINTAL ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND DESIGNER: CHLOE QUINTAL	<b>PROPOSED SECOND DWELLING</b>	<b>DRAWING TITLE</b> SITE MAP 1:25 @ A3	<b>REVISION:</b> A <b>DATE:</b> 14/07/25 <b>DRAWN BY:</b> CQ <b>SCALE:</b> 1:50 @ A3	
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NORFOLK ISLAND REGIONAL COUNCIL  
APPROVED PLANS AND DOCUMENTS

DEVELOPMENT APPLICATION No. DA.BA 11/2025

DATE OF APPROVAL: 24/9/25

MINISTER'S DELEGATE

## PROJECT DETAILS

NAME: JARED AND CHLOE QUINTAL  
ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND  
DESIGNER: CHLOE QUINTAL

## PROPOSED SECOND DWELLING

## DRAWING TITLE

PROPOSED  
FLOOR PLAN

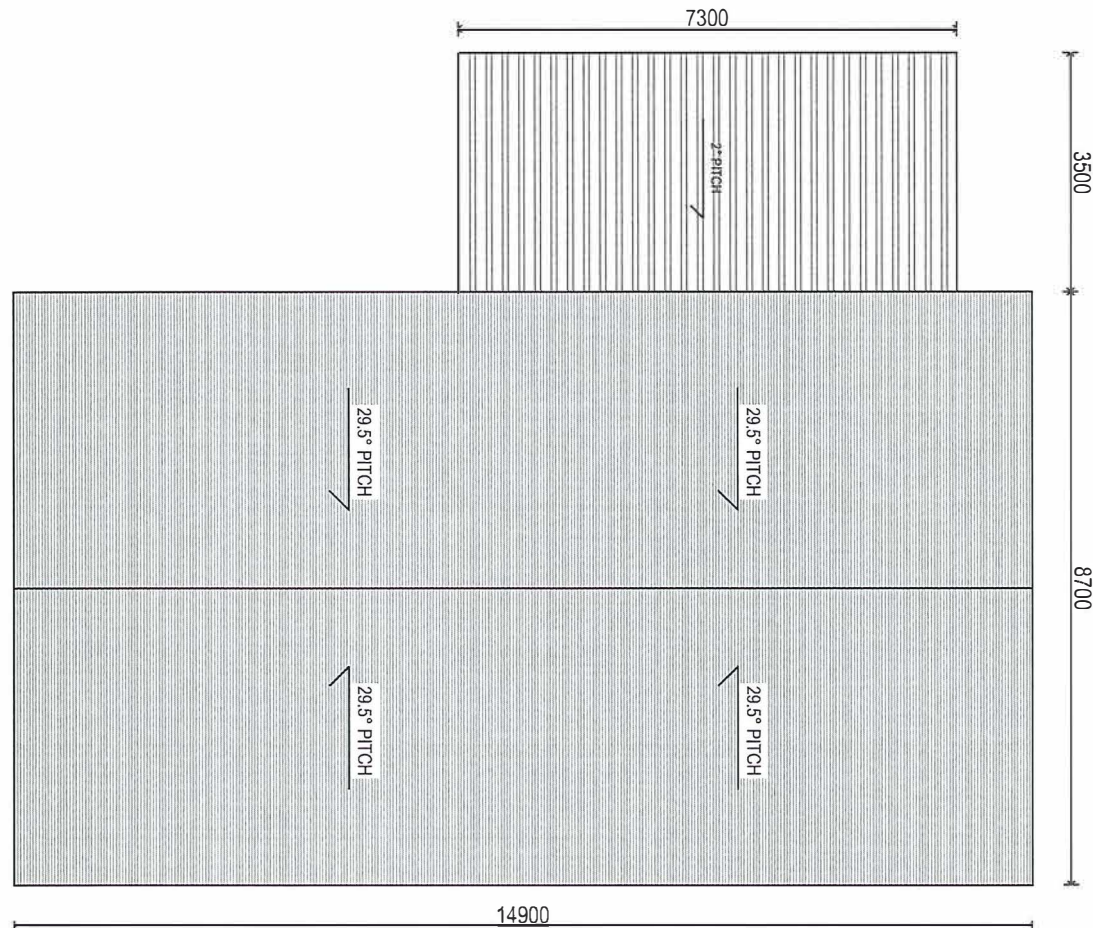
REVISION: A

DATE: 14/07/25

DRAWN BY: CQ

SCALE: 1:75 @ A3






NORFOLK ISLAND REGIONAL COUNCIL  
APPROVED PLANS AND DOCUMENTS

DEVELOPMENT APPLICATION No. DA.BA 11/2025

DATE OF APPROVAL 24/6/25

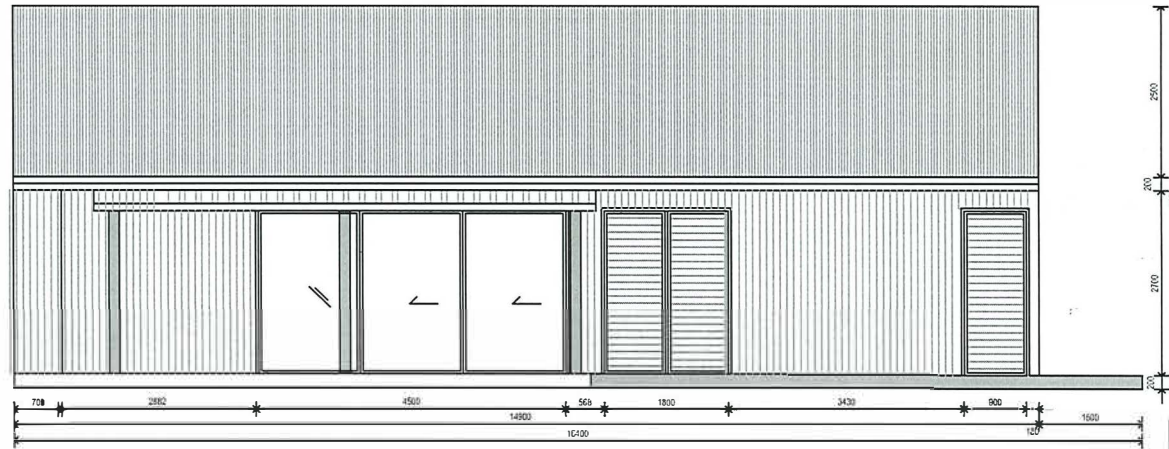
  
MINISTER'S DELEGATE



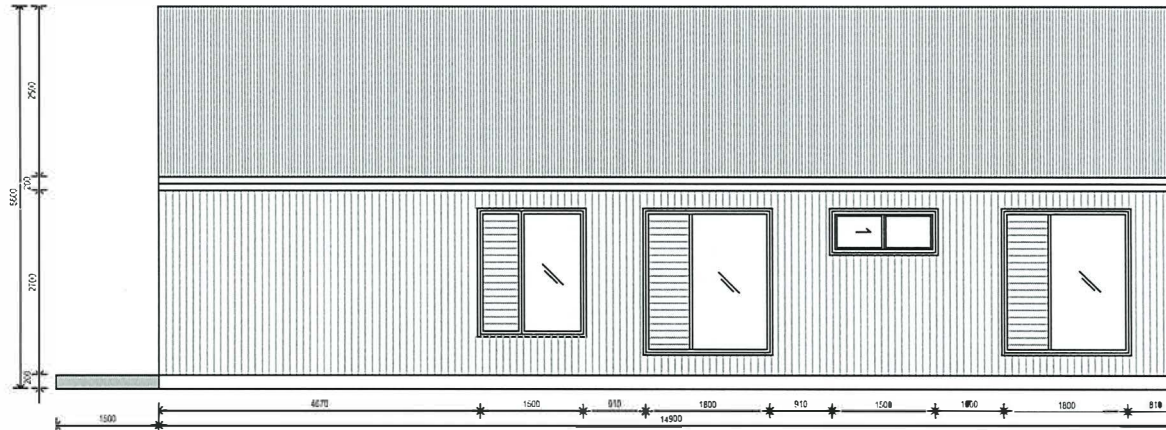
TOTAL ROOF AREA: 176M2

<b>PROJECT DETAILS</b> NAME: JARED AND CHLOE QUINTAL ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND DESIGNER: CHLOE QUINTAL	<b>PROPOSED SECOND DWELLING</b>	<b>DRAWING TITLE</b> PROPOSED ROOF PLAN	REVISION: A DATE: 14/07/25 DRAWN BY: CQ SCALE: 1:75 @ A3	
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ELEVATION A



ELEVATION C

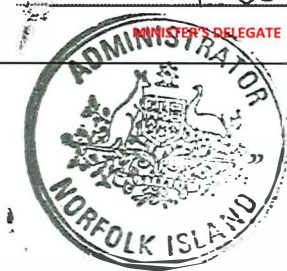
NORFOLK ISLAND REGIONAL COUNCIL  
APPROVED PLANS AND DOCUMENTS

DEVELOPMENT APPLICATION No. DA.BA 11/2025

DATE OF APPROVAL 24/9/25

*[Signature]*

MINISTER'S DELEGATE



# PROJECT DETAILS

NAME: JARED AND CHLOE QUINTAL  
ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND  
DESIGNER: CHLOE QUINTAL

## PROPOSED SECOND DWELLING

# DRAWING TITLE

HOUSE ELEVATIONS  
A & C

REVISION: A

DATE: 14/07/25

DRAWN BY: CQ

SCALE: 1:75 @ A3

ELEVATION B



ELEVATION D



**NORFOLK ISLAND REGIONAL COUNCIL**  
**APPROVED PLANS AND DOCUMENTS**

DEVELOPMENT APPLICATION No. DA.BA 11/2025

DATE OF APPROVAL 24/6/25

*[Signature]*  
 MINISTER'S DELEGATE



<b>PROPOSED DESIGN</b> NAME: JARED AND CHLOE QUINTAL ADDRESS: 117 ANSON BAY ROAD, NORFOLK ISLAND DESIGNER: CHLOE QUINTAL	<b>PROPOSED SECOND DWELLING</b>	<b>DRAWING TITLE</b> HOUSE ELEVATIONS B & D	<b>REVISION</b> DATE: 14/07/25 DRAWN BY: CQ SCALE: 1:75 @ A3	
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