

Top Tee Development Application 2025 Support Document

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Introduction

This document supports the “Building and Development Application 2025” for “TOP TEE” at 240 Taylors Road Norfolk Island by the property owners Kenneth McDonald and Amanda Keast.

The property is noted for its unique microclimate and extensive gardens and has been frequently included on Island garden tours. The owners appreciate the cultural and historical significance of the property and are committed to development that preserves the property’s character, both as a show garden and also its position within the KAVHA world heritage area.

Items covered in this supporting document include:

1. Description of works proposed.
2. Photographs of the site.
3. Survey plan and site plan.
4. KAVHA Checklists and Potential environmental and heritage Impacts

Proposed Works

The proposed works consist of three main items as described in the sections below. The first item relates to renovations to be carried out on the existing house premises. These renovations are minor additions to the major renovations done in 2014. The second item relates to extension of an existing garden shed built in 2014 and the provision of two new water tanks. The third item relates to the replacement of the Taylors Road boundary fence. These items are included in this application as they will be subject to approval based on the heritage overlay. Portion 52r Taylors Rd is part of KAVHA World Heritage Area.

1 House Renovation

It is proposed to make a minor renovation to the existing residence. It is instructive to note that the existing residence was renovated in 2014 from the residence built around 1995 as an extension to the original golf club house that was on the property. At some time in the past the property formed part of a private golf course. For more details about original plans refer to the document “Pn 52 r Taylors Rd Extracts NI Plan 2002.pdf”.

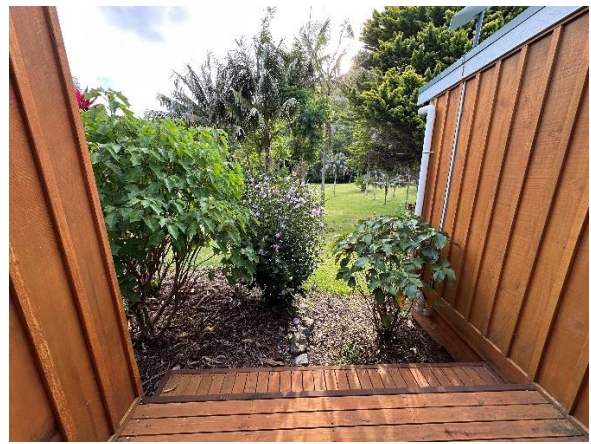
The reason for the renovation is to extend the master bedroom area into a small veranda area to provide some additional wardrobe space and dressing area. The extension will add about 2.5 x 3 meters to the roof area and cover the small veranda. The existing external sliding doors will be relocated as needed. See the attached building plans and the pictures below for more details.

Pictures

Pictures of the property are included next to show the existing building structure and surrounding gardens and works.



External view of the master bedroom veranda area to be filled in.



View of the veranda area from the sliding access doors.



Side view of the master bedroom veranda area to be filled in.



Opposite side view of the veranda area to be filled in.

2 Garden Shed Extension and Water Tanks

Several ancillary works are described in the development application. Normally these works would not need to be included, but in this case since the property is part of the KAVHA World Heritage area and a heritage overlay applies, they are included.

Garden Shed Extension

The existing garden shed was built in 2014 and replaced an old shed. The existing garden shed is to be extended in length by 7 meters and on the western side is to have a 6m * 2m lean to roof constructed to be used as a potting area for plant propagation. The revised shed footprint of 5 meters square will become 5 meters x 12 meters with overhanging roof area approximately 6 meters x 13 meters. The existing roller door will be relocated to the end of the new construction. The existing concrete pad will be extended as required. The existing board and batten style will be maintained in the extension. Two Kentia palm trees will be removed to make way for the new construction. The existing shed is detailed in the pictures over page. The existing shed and proposed extension is well screened from external view lines. However, the southeast side of the shed area will be lightly screened by the planting of several shrubs in the general vicinity of the south east wall and extension.

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View of existing garden shed looking southwest. The trellis on the right hand side marks where the lean to will be constructed.



View looking northeast. The concrete floor will be stepped down and extended. The roller door will be relocated.



View of existing garden shed looking northwest. Some screening shrubs will be planted adjacent to this wall and associated extension.



View looking northeast. The stake in the foreground marks the corner of the new shed extension.

New Potable Water Tank 1

It is proposed to install a new 40,000 litre water tank next to the garden shed. This tank will be of green Colourbond construction 4.8 meters diameter and 2.2 meters high on a concrete ring beam immediately adjacent to the new shed extension. The new tank will be plumbed into the shed roof. Runoff from the roof plus lean to and the tank roof itself will potentially harvest about 100,000 litres of fresh water per year. This water will be used as a source of fresh water for garden vegetables and may be used to augment the existing house water supply during very dry periods. Siting a tank next to the extended shed takes full advantage of available water catchment.

As the new tank is located at the side of the shed extension it will not be visible from view lines external to the property.

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View of existing garden shed looking north east and location of new tank.



View looking northwest showing location of new tank.

New Potable Water Tank 2

It is proposed to install a second new 40,000 litre water tank for augmenting the existing house water supply. This tank will be of green Colourbond construction on a concrete ring beam and will be sited next to the existing 55,000 tank that was installed in 2014. Tank diameter is 4.8 meters and height 2.2 meters. The new tank storage will augment the existing house water supply ensuring ample capacity during very dry periods like those recently experienced.

The new tank will be interconnected with the existing tank to increase the available combined storage to 95,000 litres.

The area where the new tank is to be sited is well screened by several mango trees and the tank will not be visible from view lines external to the property.



Location of new water tank 2.

Taylor's Road Boundary Fencing

The Taylor's Road boundary fencing works is a renewal of the existing post and 5 wire cattle proof fence with new posts wire and droppers to essentially replace like for like with new material where needed. Many of the posts and some of the wire is still serviceable and will not be replaced. This renewal is needed as the existing fence and wire is very old and requires significant repair work to

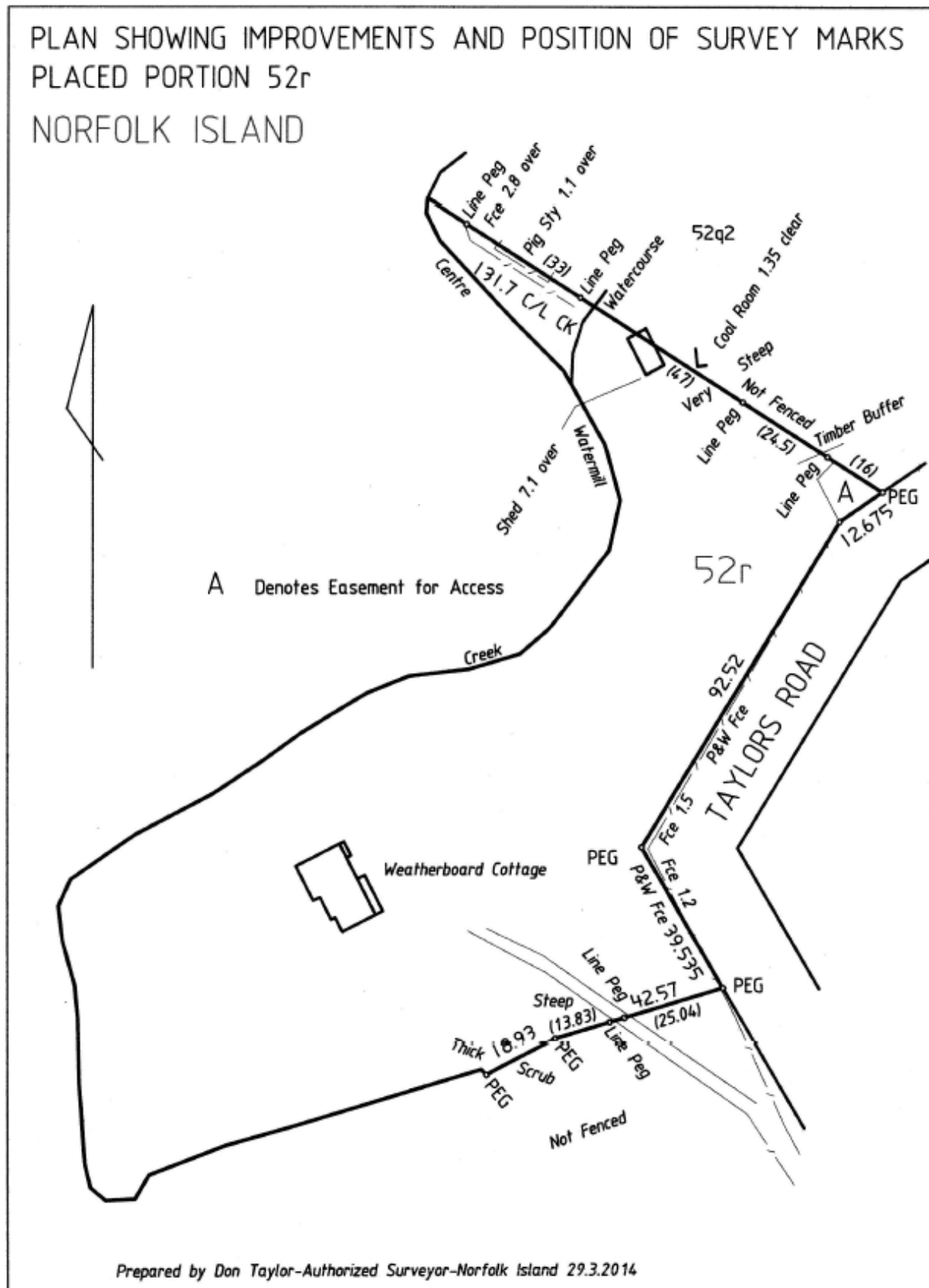
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keep the boundary safe from cattle ingress. The total length of renewed fence from the Top Tee gate to the gate of the next property up Taylors Road is approximately 170 meters.



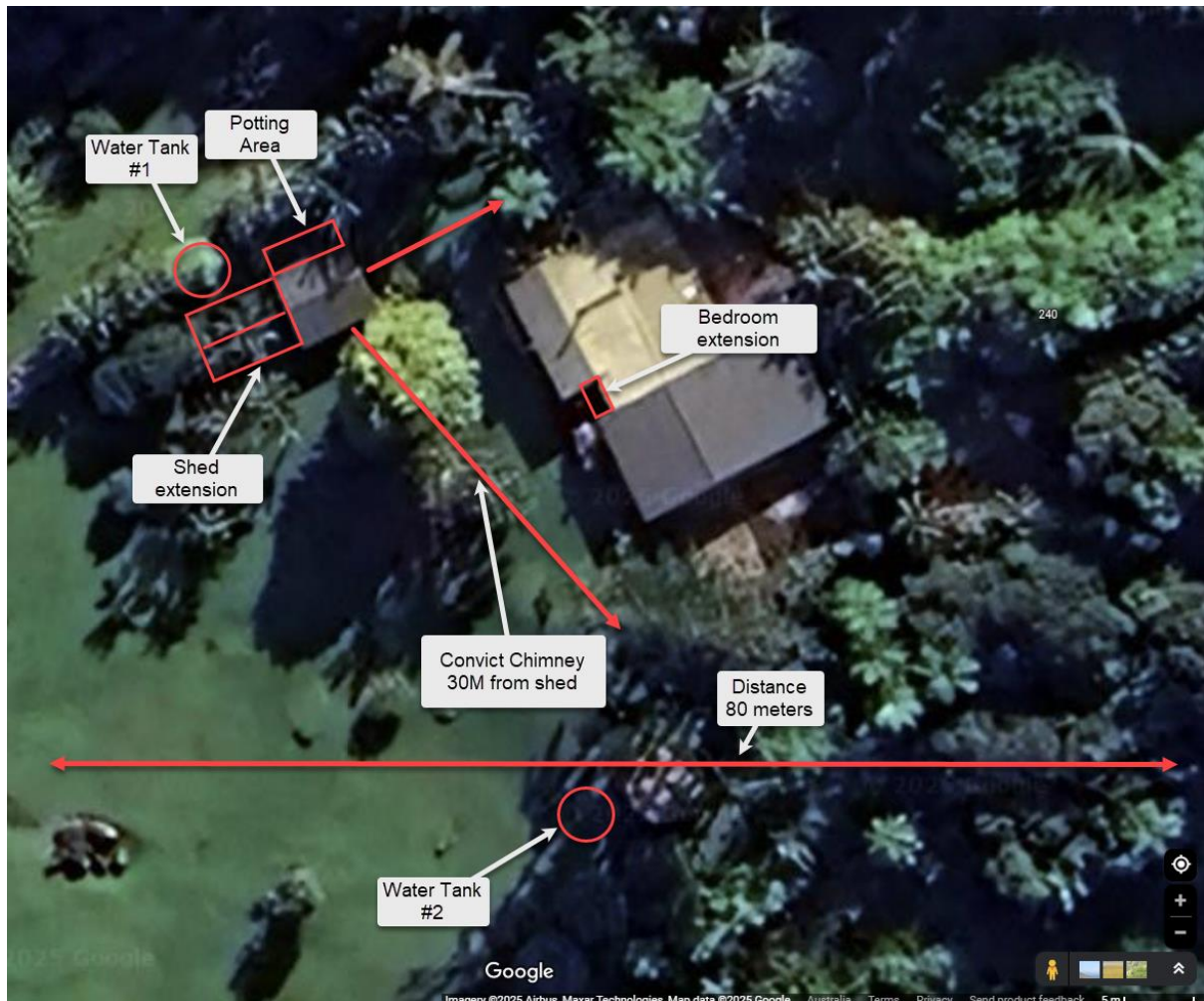
View of the Taylors Road Boundary Fence.

Survey Plan



Site Plan

The site plan shows locations of proposed house renovations, garden shed extension and water tanks to be installed.



A scale drawing at 1:500 scale is shown on the next page.

This drawing is also made available as a separate PDF attachment to maintain the scaling. Please use the attachment “TopTee_SitePlan_Scale_1_500_2025.PDF” for checking distances.

Notable points:

1. Closest distance from water tank #1 to boundary is 9 meters.
2. Closest distance from potting area to boundary is 14 meters.
3. Distance from shed extension to “Chimney” is 27 meters.
4. Distance from water tank #2 to Chimney is 12.5 meters.



Top Tee Site Plan at 1:500 Scale showing major works features and distances.

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DCP & KAVHA Checklists

Our proposal includes consideration of the following checklists.

DCP 7 Extract

In terms of the DCP 7 Extract we have the following comments about the listed items.

- Control 218 - Where relevant, development or use should address drainage and water quality, while respecting the pre-settlement natural drainage patterns and modified post-settlement infrastructure and alignments.

Water from the roof areas of both developments will be captured. The new tank to be constructed as a part of the new shed extension is designed to capture up to 100,000 litres per year of fresh water. No drainage or water quality impacts are foreseen.

- Control 219 - Where relevant, development or use should support the restoration of the swamp system to avoid contamination impacts to the marine environment at Emily Bay

We do not believe that this objective is impacted by the proposed development in that there will be no contamination impacts to the environment at Emily Bay because of this work.

- Control 220 - Where relevant, development or use should consider the impacts of proposed plantings on water quality

The proposed plantings for screening purposes adjacent to the new shed extensions will not impact on water quality.

- Control 221 - Where relevant, development or use should support water holding capacity upstream to avoid adverse impact on the marine environment during flood events.

The proposed developments do not impact on water holding capacity upstream. The fact that up to 100,000 litres of water are captured annually provides a minor reduction in inflow during flood events.

- Control 222 - Development and use must comply with Development Control Plan 2: Water Resources except where it can be demonstrated that the provisions in Development Control Plan 2 will have an adverse impact on the heritage significance of KAVHA. In order to qualify for an exemption from Development Control Plan 2 a proponent must:
 - Demonstrate that the water tanks or effluent disposal system cannot be placed without significant and substantial impacts to archaeological resources and/or significant views;
 - Demonstrate that there are no alternative locations that would not have significant and substantial impacts to archaeological resources and/or significant views are available or reasonable Where the above can be demonstrated, the proponent must propose an alternative that meets the controls in Development Control Plan 2 to the extent possible within the heritage constraints, in consultation with NIRC.

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The proposed water tanks are sited in locations that are shielded from view lines outside of the property and will have no substantial impact on views. Both tanks are above ground and only require very minor works to establish ring beams so it is expected that there will be no archaeological impacts.

- Control 223 - Rainwater tanks are encouraged, however should be located so they are not obstructing or creating an adverse impact on the KAVHA views and vistas. The siting should also consider views to and from the building in question

Two rainwater tanks are proposed. Both are sited in areas such that they do not obstruct KAVHA views and vistas.

- Control 224 - Rainwater tanks may be located underground, subject to archaeological considerations.

The two rainwater tanks are located above ground and no archaeological impacts are envisaged.

- Control 225 - Rainwater tanks should be of non-reflective iron or steel. Another material may be considered if it can be demonstrated to fit within the heritage context. Plastic water tanks are not appropriate, unless concealed underground

The two rainwater tanks are of Pioneer design made of Colourbond steel, pale eucalypt colour. A Pioneer Tank catalogue has been provided with this submission.

- Control 226 - Where practical, all habitable and tourism buildings within KAVHA should be connected to a sewerage system

The new constructions do not require additional connections to the sewerage system.

- Control 227 - Where reticulated sewage is not available, an on-site effluent disposal system must be provided

We do not consider this control relevant for this application as there is no impact to existing requirements.

Final KAVHA DCP Checklist

For development in KAVHA some additional requirements must be considered. This submission includes considerations related to the KAVHA DCP covered primarily in the next section “Potential Environmental and Heritage Impacts”.

General Requirements

- This development is within the KAVHA site.
- The development will not have a major impact on the KAVHA site.
- We have not met with the KAVHA Heritage Manager in relation to this development.
- We have met with the Council’s Planning Officer. The document relating to that meeting is attached with this submission.
- The development does not include a major change of use to a historically significant building or ruin within KAVHA.

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- Our application does not include any variations to the development controls from the KAVHA DCP.

Application Details

Application details have been dealt with on the application form. This document and in particular this section and the following section describe the site and environmental aspects.

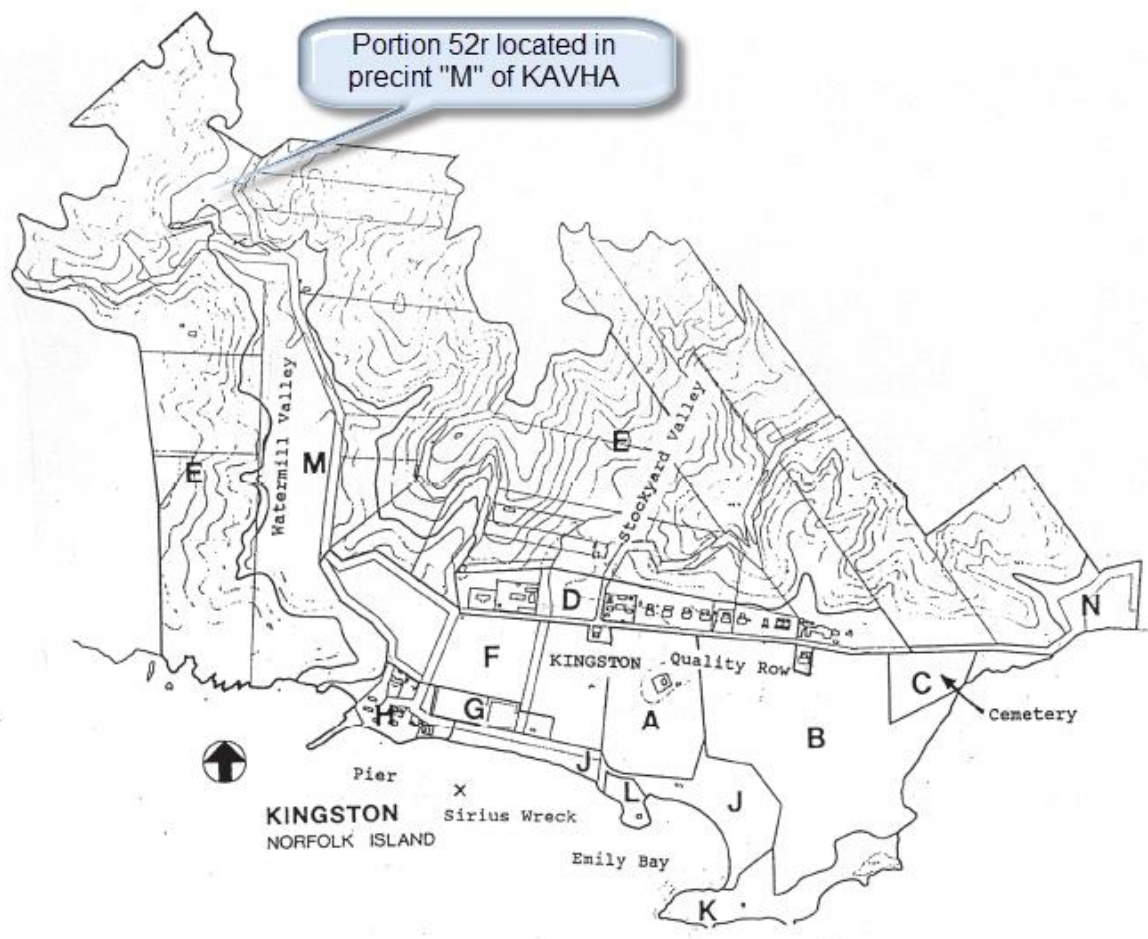
Environmental Impact Assessment

Please see the following section for environmental and heritage impacts. The section includes a summary of KAVHA precinct M and the history of the property.

Potential Environmental and Heritage Impacts

The property is situated within the KAVHA World heritage site and this section looks into the potential environmental and heritage impacts that may arise from proposed developments.

240 Taylors Rd is situated at the top end of the Watermill valley portion of KAVHA, an area known as precinct M, Arthurs's Vale and Watermill Valley. Some portions of the property also cover precinct E. The following map outlines the sections.



Precinct M is described in the following manner by the KAVHA CMP 2008.

“AREA M ARTHUR’S VALE / WATERMILL VALLEY

A watermill was one of the first buildings to have been constructed during the Second Penal Settlement near the 1790s mill. The millpond and ruins of the two storey mill and mill races survive. In the mid 20th century Watermill Dam was breached and the millpond was cultivated with rows of vegetables. In 1969 silt was cleared out and the dam wall repaired. The original head race remains but the inlet was sealed. Water now flows out through the dam wall near the overflow sluice into the original stream bed. Near the dam wall there are substantial remains of a basalt agricultural building.

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Maconochie proposed to build 200 huts scattered over the island. There are some cuttings in the hillsides, which may be building platforms, and remains but there has been no archaeological investigation of these. Two huts survive substantially intact in Arthur's Vale that may be ticket of leave men's huts or may predate this. The masonry walls survive and have been roofed in corrugated iron. Other building platforms and chimney breasts survive. A number of gardens, each with a hut, are shown on Major Barney's 1840 survey of the island.

During the second half of the 20th century Norfolk Island pines were planted as memorials, in front of the former Commissariat Stores, on Pier Street and one hundred pines were planted in 1974 along Country Road in Watermill Valley to commemorate Aunt Jemima Robinson's 100 years (September 1870 – July 1971). Ike (Isaac) Robinson settled on Norfolk in c.1860 and his son Cobby was Jemima's husband. They had eight children and lived in the former Surgeon's Quarters until Cobby died in 1964.

A number of modern houses have been constructed in Watermill Valley and on the surrounding ridges. These buildings indicate the pattern of development of Norfolk Island during the 20th century but are not of heritage significance."

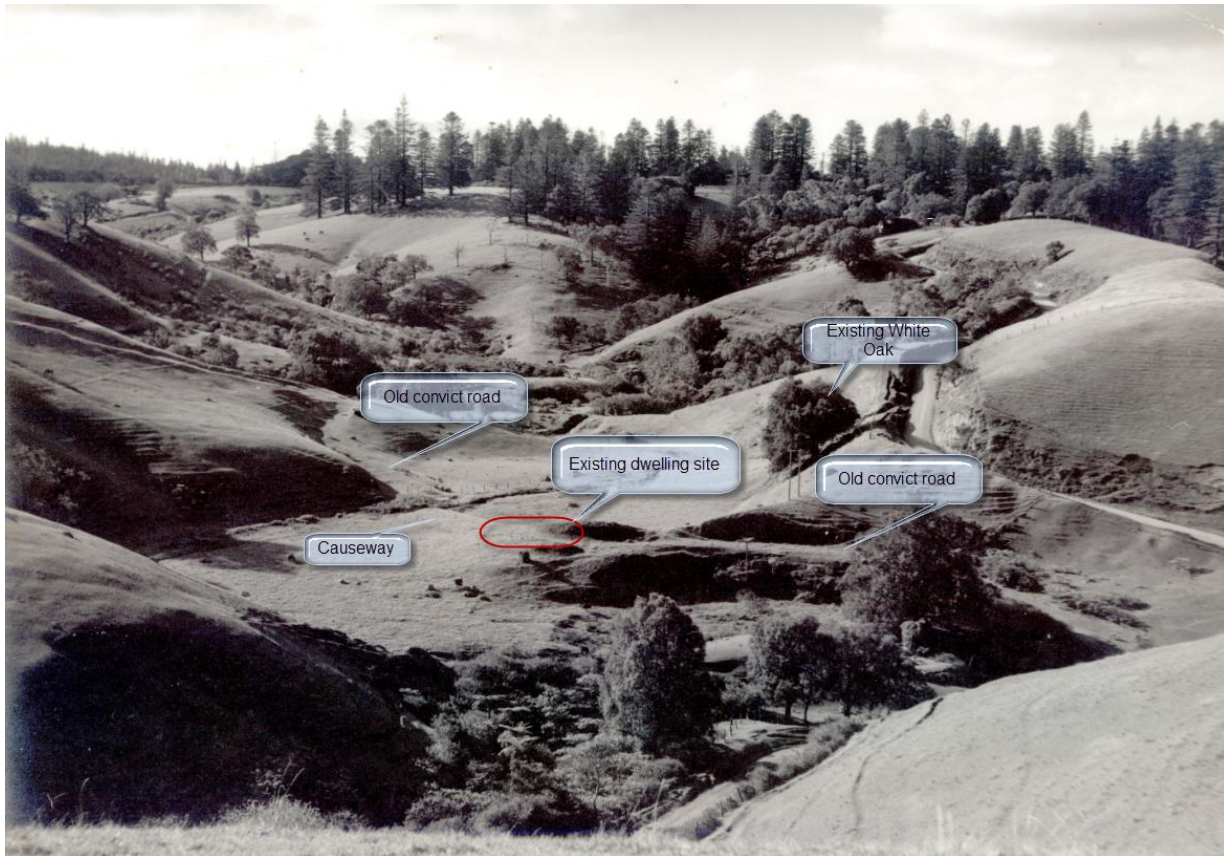


View from the property boundary on Taylors Road down past the mill pond into Arthur's Vale. The pine plantings are readily evident.

There are two items of heritage significance that the current owners know about.

1. Chimney situated a short distance southwest of the existing dwelling.
2. Old convict road.

The chimney and old convict road are evident as landmarks from early photographs of the valley. The following photograph (date unknown) gives a picture of the valley in the early 20th century.



Mid 20th Century Photo showing Watermill Valley in the vicinity of portion 52r.

The remnants of the old convict road up to Longridge and the causeway are clearly visible. The red box indicates the general area where the current dwelling is located. A relic “chimney” is located a short distance southwest of the current dwelling. Also of interest is a large White Oak tree on the slope up to Taylors Road. This tree survives today.

As a part of the development of the existing dwelling, in 1994 a document titled “Report on Impact of proposed Building Development portion 52r Watermill Valley” dated April 1994 was produced on behalf of the KAVHA Management Board. This report is reproduced as an appendix to this submission “M2-0001.pdf”

We take the opportunity here to comment on a number of items raised in the report as follows:

The “Chimney” appears to have been associated with a wattle and grass structure which may have served as a shepherd’s hut during the second settlement period. No evidence was found to indicate a date earlier than 1825.

The causeway carried the road across a lake formed by a large dam to the south of the property. This dam was breached by 1890.

The existing dwelling is located on the old road and the hillock beside the dwelling is clearly visible on the old pictures of the valley.

Since the report was prepared in 1994 there has been considerable planting of vegetation and growth of various trees including Norfolk Island Pines. The dwelling is now almost completely

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obscured from view from points surrounding the property. There are no sight lines anymore from the millpond area to the dwelling. From Country Road the dwelling is visible as there has been removal of some Norfolk island Pines recently as they were considered hazardous to the dwelling. It is the current owner's view that the modest renovations proposed for the existing dwelling will not detract from existing view lines around the property. Any proposed work will not interfere with the existing "Chimney" which is located about 10 meters from the corner of the dwelling.

The extension of the existing garden shed structure and new water tank will enhance the general utility of that area of the grounds. Advantage will be taken of the additional roof catchment area that will be provided by the extension. In addition, the shed location is mostly shielded from external views by vegetation cover.

The shed extension and associated water tank are constructed on flat ground consisting of lawn area and some Kentia Palm trees. The tank is above ground situated on a ring beam and the minor works required for the ring beam are not expected to impact any archaeological relics. The closest relic to the proposed shed extension is the "Chimney" which is situated approximately 40 meters to the south of the development area.

There are no heritage trees within 30 meters of any proposed construction. There are several large tree ferns situated approximately 10-15 meters from proposed construction. These ferns will not be impacted in any way.

The proposed second new potable water tank is located in a hollow next to the existing water tank in an area that is currently shielded by several mango trees. Due to the lower elevation of the area in which this tank will be located it will not be visible from view lines outside of the property. This tank is located about 15 meters to the south west of the "Chimney" and will not impact it in any way.